

Form 7

Code Compliance Certificate **BC170037**

Section 95, Building Act 2004

The building

Street address of building: 14 MacPhail Avenue RANGIORA

Legal description of land where building is located: LOT 40 DP 506907 0.063900 Ha

Valuation number: 2165902441

Building name:

Location of building within site/block number:

Level/unit number: 1

Current, lawfully established, use: Housing - Detached dwellings

Year first constructed: 2017

The owner

Name of owner: Freeman Homes Limited

Contact person:

Mailing address: PO Box 16499 Hornby Christchurch 8441

Street address/registered office:

Phone number: Landline: Mobile: 0272550633

Email address: Olivia.Gallop@stonewood.co.nz Website:

First point of contact for communications with the council/building consent authority: SHC Limited t/a Stonewood Homes Christchurch

Building work

Building consent number: BC170037

Consent description: DWELLING WITH ATTACHED GARAGE KIPPENBERGER AVENUE RANGIORA
PROPOSED LOT 40 DP 155398 RC155398

Issued by: Waimakariri District Council

Code compliance

The building consent authority named below is satisfied, on reasonable grounds, that —

- (a) the building work complies with the building consent



Sarah Smith
Building Consent Administrator

On behalf of Waimakariri District Council

Date: 08 September 2017



TRIM Record Number

170908097429
BC170037.03

INSPECTION ISSUES

INSPECTION ISSUES NOTED DURING PROCESSING:

Roof plane bracing shown Sht 10

No BLC Reg'd - 223 issued 13/3/17

No specific inspection called for Linea w/p to gable end.

ALTERNATIVE SOLUTION/S:

AMENDMENTS (AFTER CONSENT ISSUE):

DATE:

ENGINEER TO INSPECT:

Ground bearing after trench excavation

SURVEYOR REQUIRED (PEGGING / FFL / RECEPTION PLANE):

FIRE ENGINEER TO INSPECT:

ITEMS FOR COUNCIL TO INSPECT (SUCH AS EFFLUENT/POOL FENCING):

CONSTRUCTION REVIEWS REQUIRED TO SUPPORT PRODUCER STATEMENT DESIGN AND INSPECTION:

Refer to BC conditions

File Stripping Check Sheet

BC 170037

- ☒ All Correspondence
- ☒ Audit Check Sheets
- ☒ CCC – Signed
- ☒ Working File Cover
- ☒ As Built Plans
- ☒ Drainage Plans (both onsite & scaled Drawings)
- ☒ Specifications if any changes (see Working File Cover)
- ☒ All White Inspection Notices*
- ☒ All site photos
- ☒ All Processing Check sheets & Correspondence*
- ☒ All Amendments*
- ☒ Completed file stripping check sheet attached
- ☒ All relevant information has been included - If in doubt – INCLUDE IT

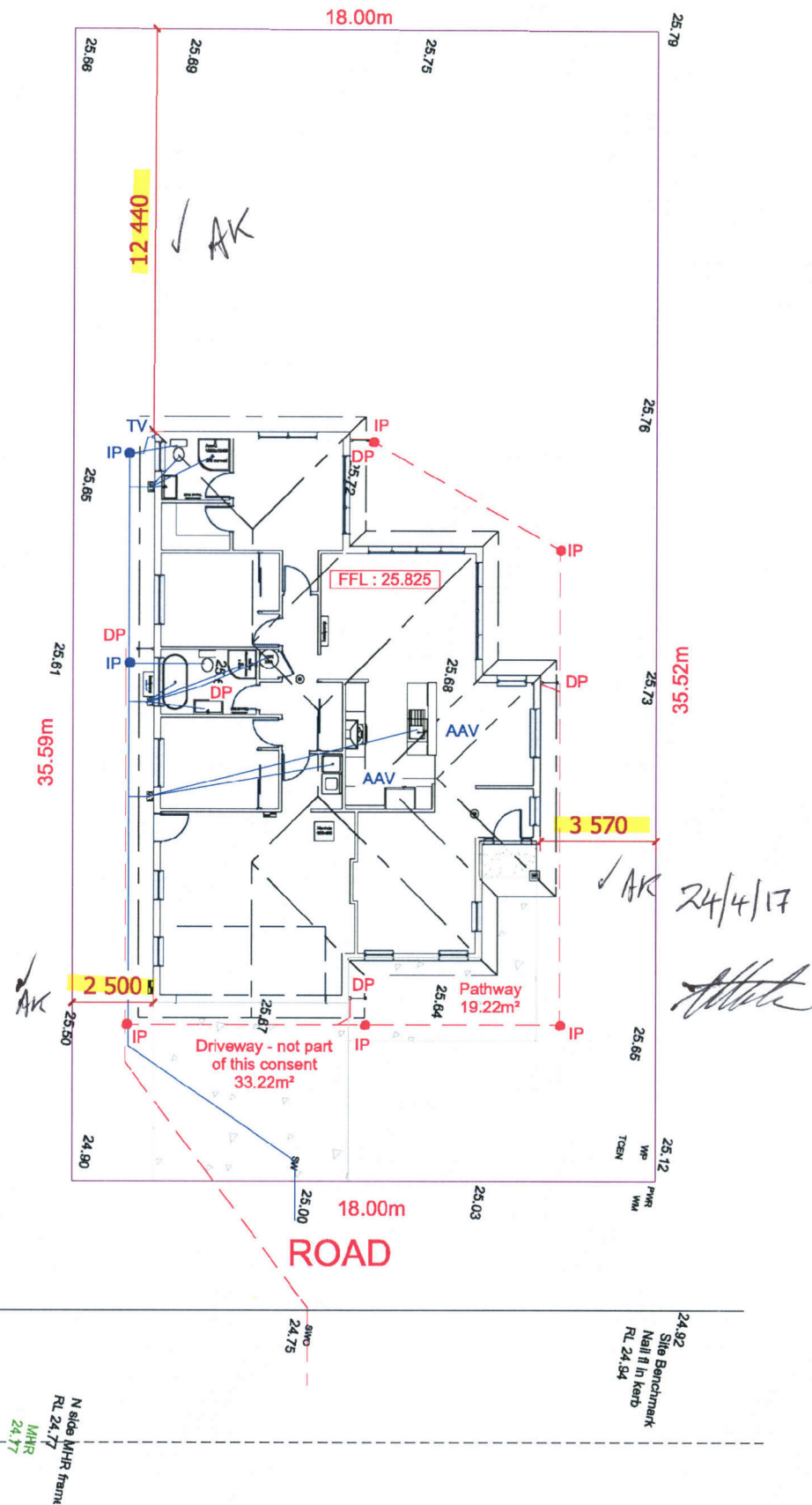
Signed



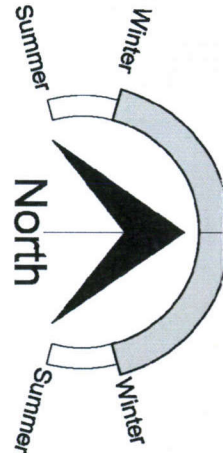
11. 9. 17.

*N.B those items marked with an * are now electronic. Depending on the age of the consent these may already be in TRIM and not hardcopy*

WALKWAY



WAIMAKARIRI DISTRICT COUNCIL
Plans and specifications APPROVED in accordance
with the Building Act 2004, clause 49 and the Building
Regulations 1992, Clause 3
170037 13/03/2017 petert



LEGEND	
Sewer Pipe	—
S/W Pipe	- - - -
Down Pipe	DP
Gully Trap	GT
Terminal Vent	TV

SITE PLAN NOTES	
Refer to Drainage Plan for specific drainage information	
Refer to sediment control plan in specification and implement where required.	
Driveway – By Stonewood Homes Ltd as shown OR Driveway and Sump not part of this building consent	
Convey surface water from sealed drive areas to an appropriate approved outfall.	
Dimensions are shown to cladding face	
Resource Consent Issues: 1/ No RC Issues known	

SITE INFORMATION	
Zone	A
Wind	High
Earthquake	2
Durability	C
Snow	As per truss design

BUILDING AREA AND SITE COVERAGE	
Net Site Area =	653m ²
Building Area (O/V) =	169.38m ² (Includes covered areas)
Actual Site Coverage=	25.93%

Refer to the SW and FS as built in the tech specs for the street frontage lateral connection locations

STONEWOOD HOMES

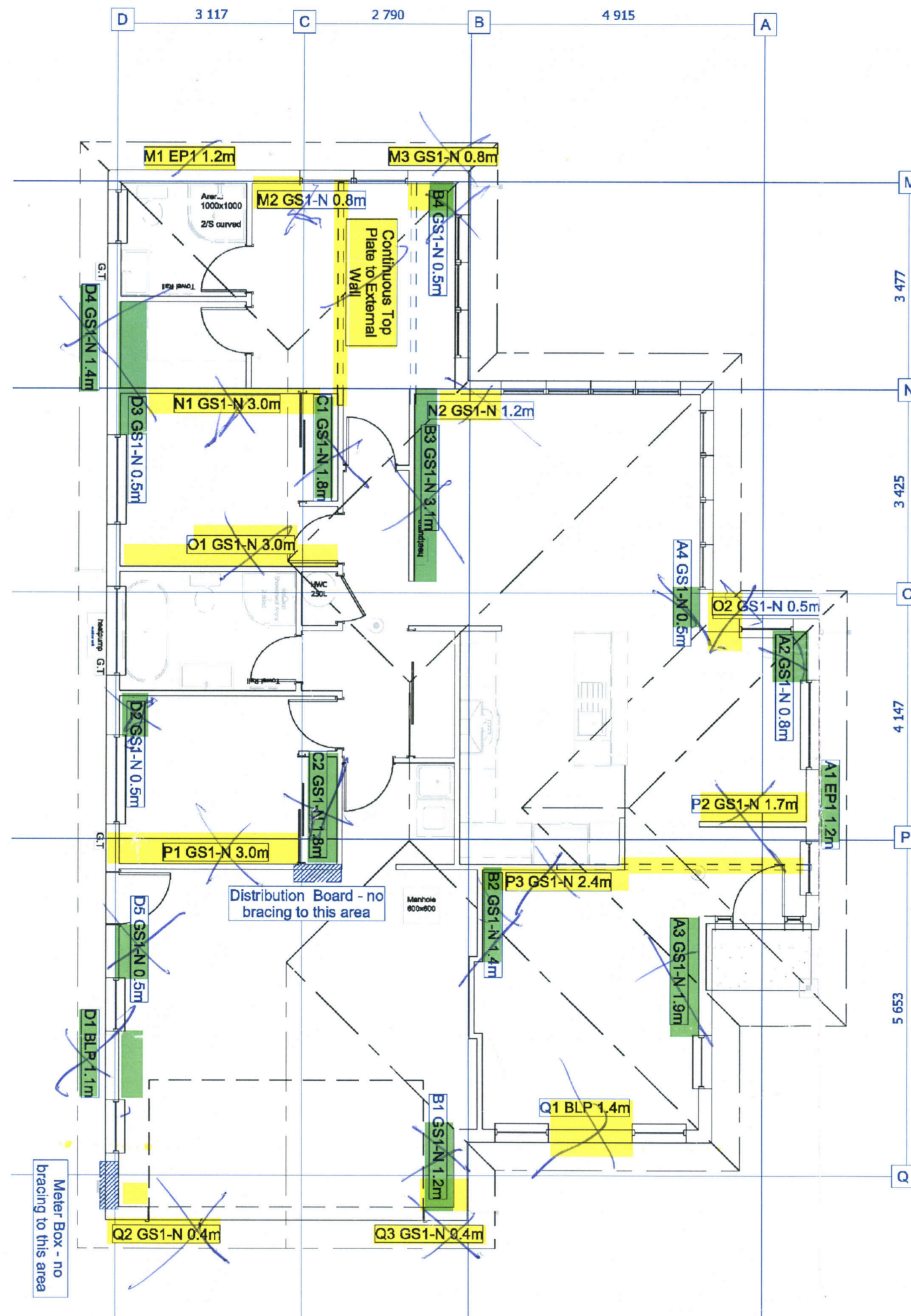
Stonewood Homes Ltd
10 Logistics Drive, P.O Box 11 036
Christchurch, New Zealand
Phone: +64 3 354 2344
Fax: +64 3 354 2342
Email: info@stonewood.co.nz
Website: www.stonewood.co.nz

Client :
Gemma Baldock
Proposed Dwelling at:
Lot 40
Elm Green
Rangiora

This plan is developed for the purchaser and is copyright to Stonewood Homes NZ Ltd.
All dimensions and levels are to be checked and verified on site by contractor prior to commencement of any work

Signed:		Date:	
SITE PLAN			
Drawn By Isha		Checked By Jeremy Harrison	
		LBP # 105491	
Standard Plan		Print Date	Sales
Core Fairhill 170 Hip		17/01/2017	GB
Job Number		Version	Revision
153232		A	4
Version:		OF	
y		15	
CONSENT			

WAIMAKARIRI DISTRICT COUNCIL
Plans and specifications APPROVED in accordance
with the Building Act 2004, clause 49 and the Building
Regulations 1992, Clause 3
170037 13/03/2017 petert



GENERAL BRACING

Bracing plan to be read in conjunction with supplementary bracing calculations

Refer to the supporting documents for specification for purlin/batten fixing, to top plate fixing & lintel fixing schedule

To be read in conjunction with mini bracing detail TAJ002AWA

BRACING SYSTEM

Wall bracing designed in accordance with NZS 3604:2011 & GIB Ezybrace system

Designed to:
Wind: High
Earthquake: 2

LEGEND

- A — Brace Line Label
- 1.1m — Brace Length
- ← Brace Type
- M1 EPBS 1.1m — Brace Number

CODE COMPLIANCE CERTIFICATE APPLICATION

Under The Building Act 2004 Section 92

BC No. 170037

THE BUILDING

1. Site address (street/road/township):

14 McPhail Road, Rangiora

4. Rapid Number (Applies to rural properties only):

3. Legal Description of the land where the building is located:

Lot: 500

DP: 476332

Valuation Roll Number: 2165902368

Note: Only complete items here that are applicable to your project.

4. Building Name: (eg: where buildings have Official Names)

5. Location of Building within Site:

(only applicable to multi-development sites)

6. Number of Levels:

6. Level/Unit No:

7. Floor Area - Existing:

New:

Total:

8. Current Lawfully Established Use:

(eg: Use on any previous consent for the existing building)

9. Year Building First Constructed:

(only applicable to existing buildings, approximate date is acceptable, eg 1920's or 1960-1970)

OWNER

10. Owner's Name: (Company or Organisation name)

Gemma Baldock

11. Contact Person: (If Owner is not an Individual)

Gemma Baldock

12. Mailing Address:

10 Freyberg Street, Rangiora

13. Street Address / Registered Office:

14. Contact Numbers:

Mobile: 027 404 8077

Daytime:

After hours:

15. Fax:

16. Email: gemma.baldock@slingshot.co.nz

17. Has ownership changed since the application for building consent was made. Yes ☒ No

If "yes" please provide one of the following:

Copy of Certificate of Title (current within 1 month)

If Certificate of Title is not issued:

☒ Signed copy of Sale and Purchase Agreement

27. All building work to be carried out under this Building Consent was completed on: 6 August 2017

AGENT

Only required if the application is being made on behalf of the owner. Agent must be authorised by the owner to make this application.

18. Name of Agent:

19. Contact Person:

20. Mailing / Billing Address:

P O B O x 16499, Hornby, Christchurch

21. Street Address / Registered Office:

11 Jipcho Road, Wigram, Christchurch

22. Contact Numbers:

Mobile: 027 255 0633

Daytime:

After hours:

23. Fax:

24. Email: carol.brown@stonewood.co.nz

25. Authorisation from owner, see page 6 (required when application not signed by owner)

26. Note: The Agent will be the first point of contact for communications with the Council / Building Consent Authority regarding this Application / Building Work and will receive all correspondence including all invoices.

I request that you issue a Code Compliance Certificate for this work under section 95 of the Building Act 2004.

The Certificate of Acceptance should be sent to

Owner

Agent ☒

RESTRICTED BUILDING WORK

Did the building include any restricted building work? Yes ☒ No

If Yes, provide the following details of all Licensed Building Practitioners who were involved in carrying out or supervising the restricted building work.

Licence Class	Name	Licensed Building Practitioner Number (or registration number if treated as being licensed under section 291 of the Building Act 2004)
Foundations	Phillip Kara	BP 104744
Carpentry	Phillip Kara	BP 104744
Exterior Plasterer		
Bricklayer	Aaron Paahi	BP 130344
Blocklayer		
Roofer	Gabor Beck	BP 127020

KEY PERSONNEL

28. The Licensed Building Practitioners who carried out the building work are as follows:

BUILDER

Name: Phillip Kara Reg. No: BP 104744
Address: 35 Queens Avenue, Waikuku Beach
Phone No: 0210511148 Fax No:
Email: pps01@xtra.co.nz

DESIGNER(S)

Name: Reg. No:
Address:
Phone No: Fax No:
Email:

CERTIFYING DRAINLAYER

Name: Duncan Walker Reg. No: 22288
Address:
Phone No: Fax No:
Email: janette@drainmate.co.nz

CERTIFYING PLUMBER

Name: Joseph Harris Reg. No: 16161
Address:
Phone No: 0274514436 Fax No:
Email: office@sjv.co.nz

CERTIFYING GASFITTER

Name: Reg. No:
Address:
Phone No: Fax No:
Email:

REGISTERED ELECTRICIAN

Name: David Johnstone Reg. No: E12313
Address:
Phone No: 0274358138 Fax No:
Email: downto@xtra.co.nz

STRUCTURAL ENGINEER

Name: Rohan Pollard Reg. No: 228756
Address: P O Box 225, Christchurch, 8140
Phone No: 03 928 2258 Fax No:
Email: admin@bce.nz

Please photocopy and attach additional pages as required to provide a complete list of ALL sub-trades involved in the project

SPECIFIED SYSTEMS

29. The following specified systems are contained on the compliance schedule for the building and, in the opinion of the personnel who installed them, are capable of performing to the performance standards set out in the Building Consent: Tick appropriate specified systems below:

There are no specified systems in the building

SS1 Automatic systems for fire suppression

SS2 Emergency warning systems

SS3/1 Automatic door

SS3/2 Access controlled doors

SS3/3 Interfaced fire or smoke doors or windows

SS4 Emergency lighting systems

SS5 Escape route pressurisation systems

SS6 Riser mains

SS7 Automatic back-flow prevention

SS8/1 Passenger carrying lifts

SS8/2 Service lifts

SS8/3 Escalator and moving walks

SS9 Mechanical ventilation or air conditioning systems

SS10 Building maintenance units

SS11 Laboratory fume cupboards

SS12/1 Audio loops

SS12/2 FM Radio and infrared beam transmission systems

SS13/1 Mechanical smoke control

SS13/2 Natural smoke control

SS13/3 Smoke curtains

SS14/1 Emergency power systems

SS14/2 Signs for SS1-13

SS15/1 Spoken information to facilitate evacuation

SS15/2 Final exits

SS15/3 Fire separations

SS15/4 Signs for facilitating evacuation

SS15/5 Smoke separations

SS16 Cable cars

ATTACHMENTS

30. The following documents are attached to this application *(where applicable)*:

Evidence of ownership *(certificate of title or sale and purchase agreement only required if ownership has changed since consent was granted)*

✓ Certificates that relate to the energy work *(e.g. gas and electricity)*

✓ Evidence that the specified systems are capable of performing to the performance standards set out in the building consent

Proof of potability of drinking water from private well, and/or rain water catchment, supply *(refer to New Zealand Drinking Water Standards 2005)*

✓ Memoranda (records of building work) from licenced building practitioner(s) stating what restricted building work they carried out or supervised

✓ Other documents from personnel that carried out the work

Evidence that specified systems are capable of performing to the performance standards set out in the Building Consent *(Installers certification)*.

APPLICATION INFORMATION

31. A Code Compliance Certificate will be issued within 20 working days from application, provided all the information required has been supplied. The Code Compliance Certificate will be based on the approved building consent documents, so any variations to the original approved plans are required to be documented and approved prior to the work being carried out. All inspections listed in the Building Consent documentation must have been carried out to the Building Consent Authorities satisfaction including a final inspection. In the event that no application for Code Compliance is made within **2 years** after the granting of the Building Consent, the Building Consent Authority is obliged to issue a "Notice to Fix" for any outstanding work. You may wish to apply for a time extension*. *fees apply

Notice to Fix

If a Notice to Fix is issued, it will state the building work that must be carried out and will set a timeframe in which this work must be completed. Once the work listed has been completed a further inspection should be booked by phoning:

Waimakariri District Council on (03) 311 8900 or (03) 327 6834

Fees

Please note: All work for the issue of a Code Compliance Certificate will be invoiced and must be paid in full before the Code Compliance Certificate will be issued.

Other notes or comments which you as the applicant may wish to add, eg Resource Consents

OWNER / AGENT SIGNATURE - Hard Copy

Signed by or on behalf of the Owner:

I am the:
Owner
Agent

Name:

Date:

Note: if acting on behalf, please read the following declaration before signing - "I hereby declare that I am authorised to act as Agent of the Owner".

NB: Ensure agent authorisation section is completed - see below.

OWNER / AGENT SIGNATURE - Electronic

By typing your name in the box below you are giving your authority for the application to proceed and accept the associated charges.

Signed by (please type your name): Carol Brown

Date: 6 August 2017

I am the:
Owner
Agent ✓

Note: If acting on behalf, please read the following declaration before signing - "I hereby declare that I am authorised to act as Agent of the Owner".

NB: Ensure agent authorisation section is completed - see below.

AGENT AUTHORISATION

I authorise

to act as agent on my behalf for the Building Consent process.

Name:

Date:

Signed:
(by owner)

FOR ELECTRONIC – Please type name.

By typing your name in the box you are giving your authority for the application to proceed and accept the associated charges.

I wish to receive my Code Compliance Certificate and approved documentation in the following format:

Electronically via File Transfer Portal⁽¹⁾

On CD

Hard copy ✓

The CD or hard copy documents are to be collected from Rangiora Service Centre unless arrangements have been made to have these delivered to you.

(1) You must be set up and registered for this option.

All the relevant information on this form is required to be provided under the Building Act and Resource Management Act for the Building Unit to process your application. Under these Acts this information has to be made available to members of the public. The information contained in this application may be made available to other units of the Council. You have the right to access the personal information held about you by the Council that can be readily retrieved. You can also request that the Council correct any personal information it holds about you.

Additional information received and/or notes:

COMMERCIAL

Tick as appropriate:

	Y	N	N/A	Jobs on HOLD, outstanding items & notes
Access & facilities	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Alarm PS4	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
FPIS certificate	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
HVAC PS4	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Compliance Schedule application	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Surveyor's certificate	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

- **Read File – PIM Conditions.** Check above with site notes and working file
- **Check all site notices, rearrange file with notes in date sequence**
- **Site File to be arranged in:**
 - RH Side – Inspection notes in date order, stapled twice along top
 - LH Side – Drainage plan, PS4's, Energy Certificates etc
 - Put all remaining documentation in date sequence, including plans and specs, bind and place in working file
- **Follow up all failed inspection items thoroughly, sign and date decision and briefly describe outcome.**

Use space on back of sheet to write up any back ground notes ie: where a follow through of a site inspection requirement is not 100% clear from another reinspection but has been conveyed in other inspections. Also note any discussion with field officer/other staff to show how acceptance was achieved.

Tick as appropriate:

	Y	N
Inspection notes correctly completed and signed off	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Outstanding amendments/items	<input type="checkbox"/>	<input checked="" type="checkbox"/>
OK for CCC	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Signature:





WAIMAKARIRI DISTRICT COUNCIL

Private Bag 1005, Rangiora 7440
Ph 03 311 8900, 03 327 6834 Fax 03 313 4432
waimakariri.govt.nz

FILE SIGN OFF FOR ISSUE OF A CCC

BC Number:

170037

Final by:

Andrew

Auditor:

Mike

Date audited:

7-09-2017

Project description:

New Dwelling + Att Garage

AUDIT ITEMS

Tick as appropriate:

	Y	N	N/A
Form 6 signed & dated <u>6-09-2017</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Final landscaping photos	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Heating installation sheet	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Drainage plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Drainlayer's Reg No: <u>22288</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Drainlayer's Eff. PS3	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
WDC Effluent approval & fenced	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Gas certificate	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Electrical certificate	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Exterior cladding PS3	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Plumber's Reg No: <u>16161</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Plumber's pressure test PS3	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Tanking PS3	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Cladding type/s as per plans	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Well water test	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Engineer's site notes	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Engineer's PS4	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Membrane roof pitch	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Membrane installer's PS3	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Solar PS3	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Consent fees owing	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
LBP Record of Work Memorandum:			
Foundation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Carpentry	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Cladding - Brick	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
- Linea <u>PS3</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
- Plaster	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Roofing	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Jobs on HOLD, outstanding items & notes

Required

check

Sarah Smith

From: Carol Brown <Carol.Brown@stonewood.co.nz>
Sent: Wednesday, 6 September 2017 12:01 PM
To: Sarah Smith
Cc: James Parker
Subject: BC 170037 - 14 McPhail Avenue - Code Compliance Application
Attachments: 153232 170523 As Built Truss Design -x.pdf; 153232 170616 Pipe work testing -x.pdf; 153232 170804 LBP ROW Bricklayer.pdf; 153232 170822 Electrical Certificate.pdf; 153232 170902 PS3 Weatherboard.pdf; 153232 170903 LBP ROW Builder.pdf; 153232 170904 As Built Drainage Plan.pdf; 153232 170904 LBP ROW Roofer.pdf; 153232 170904 PS3 Roofer.pdf; 153232 170905 Electrical Certificate HP.pdf; 153232 170905 PS4 Engineer.pdf; 153232 170906 Code Compliance Application.pdf; 153232 161031 Sale and Purchase Agreement-x.pdf

Afternoon Sarah

Please find the below mentioned documents attached for a code compliance certificate.

153232 170906 Code Compliance Application
153232 170523 As Built Truss Design -x
153232 170616 Pipe work testing -x
153232 170804 LBP ROW Bricklayer
153232 170822 Electrical Certificate
153232 170902 PS3 Weatherboard
153232 170903 LBP ROW Builder
153232 170904 As Built Drainage Plan
153232 170904 LBP ROW Roofer
153232 170904 PS3 Roofer
153232 170905 Electrical Certificate HP
153232 170905 PS4 Engineer
153232 161031 Sale and Purchase Agreement

Many Thanks

Carol Brown
Senior Administrator

Stonewood Homes (Christchurch)

M 027 255 0633
T 03 375 0551
F 03 354 2342
E Carol.Brown@stonewood.co.nz
W www.stonewood.co.nz
PO Box 16499, Hornby, Christchurch, 8441, New Zealand

Issued by (Plumber):

Joseph Harris

For (Owner):

Baldock residence

At (address):

Lot 40, 14 McPhail Avenue, Elm Green, Rangiora 7400

Rangiora 7400

In respect of the testing of water pipe work prior to concealment.

I hereby state that I have personally tested the water pipe work installed in the building authorised under this Building Consent by the method indicated hereunder.

- ☒ By pressurising the pipe work to 1500 kPa for a period of not less than 15 minutes for the hot and cold water supply and checking to see there are no leaks. (NZBC G12/AS1 7.5.1 (a), (b).)
- ☒ By pressurising the uPVC pipe work to 1.5 times the maximum working pressure for a period of not less than 15 minutes and checking that there are no leaks. (NZBC G12/AS1 7.5.2, NZS 7643).

Max working pressure was: 1500 Kpa

- ☐ By pressurising the pipe work to 1500 kPa for a period of not less than 5 minutes and checking to see there are no leaks. (NZBC G12 VM1, AS3500:Part 1.2 1998)

And believe on reasonable grounds that the pipe work has passed that test.

- ☒ All work complies with the NZBC

I also understand that Waimakariri District Council in accepting this producer statement will be relying on it to issue the Code Compliance Certificate at the completion of the building work.

SIGNATURE OF LICENSED CERTIFYING PLUMBER:

Signature:



Date: 16 June 2017

Registration Number: 16161

Company Name: SJV Group Ltd

Baldock
#153232

Memorandum from licensed building practitioner: Record of building work

Section 88, Building Act 2004

Please fill in the form as fully and correctly as possible.

If there is insufficient room on the form for requested details, please continue on another sheet and attach the additional sheet(s) to this form.

THE BUILDING

Street address: Lot 40 Elm Green

Suburb:

Town/City: Rangiora

Postcode:

THE PROJECT

Building consent number: 170037

THE OWNER(S)

Name(s): Gemma Baldock

Mailing address:

Suburb:

PO Box/Private Bag:

Town/City:

Postcode:

Phone number:

Email address:

RECORD OF WORK THAT IS RESTRICTED BUILDING WORK

PRIMARY STRUCTURE

Work that is restricted building work	Description of restricted building work	Carried out or supervised
Tick <input checked="" type="checkbox"/>	If necessary, describe the restricted building work.	Tick <input checked="" type="checkbox"/> whether you carried out the restricted building work or supervised someone else carrying out the restricted building work.
Foundations and subfloor framing <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Walls <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Roof <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Columns and beams <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Bracing <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Other <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised

EXTERNAL MOISTURE MANAGEMENT SYSTEMS		
Work that is restricted building work	Description of restricted building work	Carried out or supervised
Tick <input checked="" type="checkbox"/>	If necessary, describe the restricted building work.	Tick <input checked="" type="checkbox"/> whether you carried out the restricted building work or supervised someone else carrying out the restricted building work.
Damp proofing <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Roof cladding or roof cladding system <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Ventilation system (for example, subfloor or cavity) <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Wall cladding or wall cladding system <input checked="" type="checkbox"/>	Bricklaying	<input checked="" type="radio"/> Carried out <input type="radio"/> Supervised
Waterproofing <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Other <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised

Carried out or supervised

Tick ☒ whether you carried out the restricted building work or supervised someone else carrying out the restricted building work.

☐ Carried out

☐ Supervised

☐ Carried out

☐ Supervised

☐ Carried out

☐ Supervised

☒ Carried out

☐ Supervised

☐ Carried out

☐ Supervised

☐ Carried out

☐ Supervised

ISSUED BY

Name and contact details of the licensed building practitioner who is licensed to carry out or supervise restricted building work.

Name: Aaron Paahi

LBP number: BP130344

Class(es) licensed in: B1 B2

Plumbers, Gasfitters and Drainlayers registration number (if applicable):

Mailing address (if different from below):

Street address/Registered office: 216 Southfield Dr

Suburb:

Town/City: Lincoln

PO Box/Private Bag

Postcode: 7608

Phone number:

Mobile: 0226096199

After hours:

Fax:

Email address: amirandbrickand
block@gmail.com

Website:

DECLARATION

I Aaron Paahi carried out or supervised the restricted building work recorded on this form.

Signature: Paahi

Date: 4.8.17



ELECTRICAL CERTIFICATE OF COMPLIANCE AND ELECTRICAL SAFETY CERTIFICATE



Reference/Certificate ID No: 153232

This form has been designed to be used by licensed electrical workers to certify that installations or Part installations under Part 1 or Part 2 of AS/NZS 3000 are safe to be connected to the specified system of electrical supply.

Location Details:

14 McPhail Ave, Rangiora

Contact Details:
(Name and address)

Gemma Baldock

Name of
Electrical worker:

David Johnstone

Registration/Practising
licence number:

E12313

Organisation/company:

Down to Earth Electrical 2016 Ltd

Phone and email:

0274 358 138

Name of person(s)
supervised:

Sam, Ryan

CoC

Type of work:

☐ Additions

☐ Alterations

☒ New work

The prescribed electrical work is:

☐ Low risk

☐ General

☒ High risk (Specify):

Reference Standards:

☐ Part 1 of AS/NZS 3000

☒ Part 2 of AS/NZS 3000

☐ Additional Standards:

Description of Work: (including date/s of work and type of supply system)

New Domestic Dwelling as per the Electrical Plan
Including MEN switchboard & internal mains
37 x lights, 28 x plugs

I certify that the completed prescribed electrical work to which this Certificate of Compliance applies has been done lawfully and safely, and the information in the certificate is correct in that the installation, or part of the installation:

Select those that apply:

- ☐ Has been installed in accordance with the specified certified design¹
- ☒ Has an earthing system that is correctly rated (where applicable)
- ☒ Contains fittings that are safe to connect to a power supply
- ☐ Relies on a supplier Declaration of Conformity¹
- ☐ Relies on a manufacturer's instructions¹
- ☒ Has been satisfactorily tested in accordance with the Electricity (Safety) Regulations 2010
- ☒ Is safe to connect

Electronic/Other reference:

www.telfers.co.nz

Certifier's signature:

Test Results	
Polarity (Independent earth):	<input checked="" type="checkbox"/>
Insulation resistance:	<input checked="" type="checkbox"/>
Earth Continuity:	<input checked="" type="checkbox"/>
Bonding:	<input checked="" type="checkbox"/>
Fault Loop impedance	
Other (specify):	

Date:

22/8/2017

¹ Attach or reference. If it is impractical to attach a copy of a particular manufacturer's instructions, or of any certified design or supplier declaration of conformity, provide a reference to where the documents can be found, in a readily accessible format, by electronic means.

ESC

I certify that the installation, or part of the installation, to which this Electrical Safety Certificate applies is connected to a power supply and is safe to use.

Certifier's
name:

Registration/Practising
licence number:

Certifier's
signature:

Certificate
Issue Date:

Connection
Date:

CUSTOMER COPY – THIS IS AN IMPORTANT DOCUMENT AND SHOULD BE RETAINED FOR A MINIMUM OF 7 YEARS

This certificate also confirms that the electrical work complies with the building code for the purposes of Section 19(1)(e) of the Building Act 2004.

Producer Statement

General Building Work

Construction Review

Issued by: Phillip Kara Pegasus Property Solutions Ltd

To: WAIMAKARIRI DISTRICT COUNCIL

In respect of the following: Hardies linear classic Cladding

Installed as required in strict accordance with the approved plans, and product specification and any specific design approved by Waimakariri District Council.

Installed at: 14 MacPhail Drive Rangiora

Building Consent No: BC170037

As the contractor responsible for the above work I certify that I, or personnel under my control have carried out the above work and I believe on reasonable grounds that all work complies with the performance requirements of the New Zealand Building Code, and any specific design approved by Waimakariri District Council.

The contractor acknowledges that it is responsible to The Waimakariri District Council for the information contained in this Producer Statement. The Contractor agrees to indemnify the Council against all liability suffered or incurred by Council as a consequence of the information contained in this Producer Statement being found to be misleading or incorrect in whole or in part.

LBP Class & Licence Number: 104744 Carpentry

Signed: PK Date: 3/09/2017

Memorandum from licensed building practitioner: Record of building work

Section 88, Building Act 2004

Please fill in the form as fully and correctly as possible.

If there is insufficient room on the form for requested details, please continue on another sheet and attach the additional sheet(s) to this form.

THE BUILDING

Street address: **14 MacPhail Drive**

Suburb:

Town/City: **Rangiora**

Postcode:

THE PROJECT

Building consent number: **170037**

THE OWNER(S)

Name(s): **Gemma Baldock**

Mailing address: **As Above**

Suburb:

PO Box/Private Bag:

Town/City:

Postcode:

Phone number:

Email address:

RECORD OF WORK THAT IS RESTRICTED BUILDING WORK

PRIMARY STRUCTURE

Work that is restricted building work	Description of restricted building work	Carried out or supervised
Tick <input checked="" type="checkbox"/>	If necessary, describe the restricted building work.	Tick <input checked="" type="checkbox"/> whether you carried out the restricted building work or supervised someone else carrying out the restricted building work.
Foundations and subfloor framing <input checked="" type="checkbox"/>	Formed floor as per plan	<input checked="" type="checkbox"/> Carried out <input type="checkbox"/> Supervised
Walls <input checked="" type="checkbox"/>	Stood and fixed pre nail frames as per plan	<input checked="" type="checkbox"/> Carried out <input type="checkbox"/> Supervised
Roof <input checked="" type="checkbox"/>	Stood and fixed trusses as per plan	<input checked="" type="checkbox"/> Carried out <input type="checkbox"/> Supervised
Columns and beams <input checked="" type="checkbox"/>	Installed garage beam as per plan	<input checked="" type="checkbox"/> Carried out <input type="checkbox"/> Supervised
Bracing <input checked="" type="checkbox"/>	Installed holddowns and brace ply as per plan	<input checked="" type="checkbox"/> Carried out <input type="checkbox"/> Supervised
Other <input type="checkbox"/>		<input type="checkbox"/> Carried out <input type="checkbox"/> Supervised

EXTERNAL MOISTURE MANAGEMENT SYSTEMS

Work that is restricted building work	Description of restricted building work	Carried out or supervised
Tick <input checked="" type="checkbox"/>	If necessary, describe the restricted building work.	Tick <input checked="" type="checkbox"/> whether you carried out the restricted building work or supervised someone else carrying out the restricted building work.
Damp proofing <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Roof cladding or roof cladding system <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Ventilation system (for example, subfloor or cavity) <input checked="" type="checkbox"/>	20 mm drained cavity on gable as per plan	<input checked="" type="radio"/> Carried out <input type="radio"/> Supervised
Wall cladding or wall cladding system <input checked="" type="checkbox"/>	180mm Linear installed as per plan	<input checked="" type="radio"/> Carried out <input type="radio"/> Supervised
Waterproofing <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised
Other <input type="checkbox"/>		<input type="radio"/> Carried out <input type="radio"/> Supervised

ISSUED BY

Name and contact details of the licensed building practitioner who is licensed to carry out or supervise restricted building work.

Name: **Phillip Kara**

LBP number: **104744**

Class(es) licensed in:

Carpentry

Plumbers, Gasfitters and Drainlayers registration number (if applicable):

Mailing address (if different from below):

Street address/Registered office: **35 Queens Ave**

Suburb: **Waikuku Beach**

Town/City:

PO Box/Private Bag

Postcode: **7604**

Phone number:

Mobile: **0210511148**

After hours:

Fax:

Email address: **pps01@xtra.co.nz**

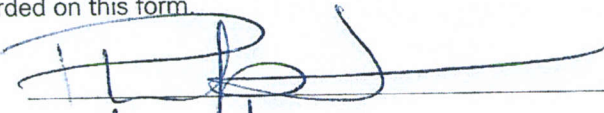
Website:

DECLARATION

I, **Phillip Kara**, carried out or supervised the restricted building work recorded on this form.

Signature:

Date:


3/09/2017

**MEMORANDUM FROM
LICENSED BUILDING PRACTITIONER**

Record of Building Work
Section 88, Building Act 2004

Please fill in the form as fully and correctly as possible.

If there is insufficient room on the form for requested details, please continue on another sheet and attach the additional sheet(s) to this form.

THE BUILDING

Street Address : Lot 40 Elm Grove

Suburb :

Town/City : Rangiora

Postcode : [Click here to enter text.](#)

THE PROJECT

Building Consent
Number : BC 170037

THE OWNER(S)

Names : C/- Stonewood Homes Chch

Mailing Address : 10 Logistics Dr

Suburb : Harewood

PO Box/Private Bag : 11036

Town/City : Christchurch

Postcode : 8443

Phone Number : 03 354 2344

Email Address : codeofcompliance@stonewood.co.nz

RECORD OF WORK THAT IS RESTRICTED BUILDING WORK

PRIMARY STRUCTURE

Work that is restricted building work

Description of restricted building work

Carried out or supervised

Tick ☒

If necessary, describe the restricted work

Tick ☒ whether you carried out the restricted building work or supervised someone else carrying out the restricted building work.

Foundations and sub-floor framing ☐

☐ Carried out

Walls ☐

☐ Supervised

Roof ☐

☐ Carried out

Columns and beams ☐

☐ Supervised

Bracing ☐

☐ Carried out

Other ☐

☐ Supervised

☐ Carried out

☐ Supervised

☐ Carried out

☐ Supervised

☐ Carried out

☐ Supervised

EXTERNAL MOISTURE MANAGEMENT SYSTEMS

Work that is restricted building work

Description of restricted building work

Carried out or supervised

Tick ☒

If necessary, describe the restricted work

Tick ☒ whether you carried out the restricted building work or supervised someone else carrying out the restricted building work.

Damp Proofing ☐

☐ Carried out

Roof cladding or roof cladding system ☒

☐ Supervised

Ventilation system (e.g. sub-floor or cavity) ☐

☒ Carried out

☒ Supervised

Wall cladding or wall cladding system ☐

☐ Carried out

☐ Supervised

Waterproofing ☐

☐ Carried out

☐ Supervised

Other ☐

☐ Carried out

☐ Supervised

☐ Carried out

☐ Supervised

ISSUED BY

Name and contact details for the licensed building practitioner who is licensed to carry out or supervise restricted building work.

Name : Gabor Beck – BP127020

LBP Number : BP127020

Class(es) licensed in : R3

Plumbers, Gasfitters and Drainlayers registration number (if applicable): [Click here to enter text.](#)

Mailing address ;
(If different from below) PO Box 9181, Tower Junction, Christchurch 8011

Street Address/Registered Office : 105A Nazareth Ave

Suburb :	Middleton	Town/City :	Christchurch
PO Box/Private Bag :	PO Box 9181, Tower Junction, Christchurch	Postcode :	8149
Phone Number :	03 366 8680	Mobile :	022 123 3056
After Hours :	022 123 3056	Fax :	03 366 8980
Email Address :	admin@theroofingcompany.co.nz	Website :	Not Applicable

DECLARATION

I Gabor Beck carried out or supervised the restricted building work recorded on this form.

Signature :

Date : 30/05/2017



Producer Statement

General Building Work

Construction Review

Issued by: Gabor Beck

To: Waimak COUNCIL

In respect of the following: Tile Batten fixings

completed in strict accordance with the approved plans, and product specification and any specific design approved by Council.

Installed at: Lot 40 Elm Grove

Building Consent No: 170037

As the contractor responsible for the above work I certify that I, or personnel under my control have carried out the above work and I believe on reasonable grounds that all work complies with the performance requirements of the New Zealand Building Code, and any specific design approved by Waimak Council.

The contractor acknowledges that it is responsible to The Waimak Council for the information contained in this Producer Statement. The Contractor agrees to indemnify the Council against all liability suffered or incurred by Council as a consequence of the information contained in this Producer Statement being found to be misleading or incorrect in whole or in part.

LBP Class & Licence Number: BP 127020

Signed: CAROL Date: 16.6.17

Compliance and Electrical Safety Certificate

R. Redpaths



Reference/Certificate ID No: _____

This form has been designed to be used by licensed electrical workers to certify that installations or Part installations under Part 1 or Part 2 of AS/NZS 3000 are safe to be connected to the specified system of electrical supply.

Location Details:

14 McFALL

Contact Details:
(Name and address)

STONEWOOD HOMES LTD

Name of
Electrical worker:

J SHERRY

Registration/Practising
licence number:

E245138

Organisation/company:

NZMP

Phone and email:

0800 200 400

Name of person(s)
supervised

STEPHAN, VICTOR, STEVE

CoC

Type of work:

☐ Additions

☐ Alterations

☒ New work

The prescribed electrical work is:

☒ Low risk

☐ General

☐ High risk (Specify): _____

Reference Standards:

☐ Part 1 of AS/NZS 3000

☐ Part 2 of AS/NZS 3000

☐ Additional Standards: _____

Description of Work: (including date/s of work and type of supply system)

INSTAL OF N3KV22 AIR CON ON 2.5mm² SUPPLY
VIA 16A MCB

I certify that the completed prescribed electrical work to which this Certificate of Compliance applies has been done lawfully and safely, and the information in the certificate is correct in that the installation, or part of the installation:

- ☒ Has been installed in accordance with a certified design¹
- ☒ Has an earthing system that is correctly rated (where applicable)
- ☒ Contains fittings that are safe to connect to a power supply
- ☐ Relies on a supplier Declaration of Conformity¹
- ☐ Relies on a manufacturer's instructions¹
- ☒ Has been satisfactorily tested in accordance with the Electricity (Safety) Regulations 2010
- ☒ Is safe to connect

Electronic/Other reference: _____

Certifier's signature: _____

Test Results:

Polarity (independent earth):	/
Insulation resistance:	/
Earth continuity:	/
Bonding:	/
Other (specify):	ELI
Date:	1-9-17

¹ Attach or reference. If it is impractical to attach a copy of a particular manufacturer's instructions, or of any certified design or supplier declaration of conformity, provide a reference to where the documents can be found, in a readily accessible format, by electronic means.

ESC

I certify that the installation, or part of the installation, to which the Electrical Safety Certificate applies is connected to a power supply and is safe to use.

Certifier's
name:

J SHERRY

Registration/Practising
licence number:

E245138

Certifier's
signature:

[Signature]

Certificate
Issue Date:

1-9-17

Connection
Date:

1-9-17

CUSTOMER COPY - THIS IS AN IMPORTANT DOCUMENT AND SHOULD BE RETAINED FOR A MINIMUM OF 7 YEARS
This certificate also confirms that the electrical work complies with the building code for the purposes of Section 19(1)(e) of the Building Act 2004.

Issuer Copy



Building Code Clause(s) B1

PRODUCER STATEMENT – PS4 – CONSTRUCTION REVIEW

(Guidance on use of Producer Statements (formerly page 2) is available at www.ipenz.nz)

ISSUED BY: Blueprint Consulting Engineers
(Construction Review Firm)

TO: Stonewood Homes Christchurch
(Owner/Developer)

TO BE SUPPLIED TO: Waimakariri District Council
(Building Consent Authority)

IN RESPECT OF: Residential Dwelling - Structural Inspections - Refer PS4 Addendum SC153232-PS4-01
(Description of Building Work)

AT: 14 McPhail Avenue
(Address)

Town/City: Rangiora LOT DP SO
(Address)

We Blueprint Consulting Engineers have been engaged by Stonewood Homes Christchurch
(Construction Review Firm)

To provide ☐ CM1 ☒ CM2 ☐ CM3 ☐ CM4 ☐ CM5 (Engineering Categories) or ☐ observation as per agreement with owner/developer Stonewood Homes Christchurch

or ☐ other services
(Extent of Engagement)

in respect of clause(s) B1 of the Building Code for the building work described in

documents relating to Building Consent No. 170037 and those relating to

Building Consent Amendment(s) Nos. issued during the course of the works. We have sighted these Building Consents and the conditions of attached to them.

Authorised instructions/variation(s) No. (copies attached) or by the attached Schedule ☐ have been issued during the course of the works.

On the basis of ☒ this review ☐ these review(s) and information supplied by the contractor during the course of the works and on behalf of the firm undertaking this Construction Review, I believe on reasonable grounds that ☐ All or ☒ Part only of the building works have been completed in accordance with the relevant requirements of the

Building Consent and Building Consent Amendments identified above, with respect to Clause(s) B1 of the Building Code. I also believe on reasonable grounds that the persons who have undertaken this construction review have the necessary competency to do so.

I, Rohan Pollard am: ☒ CPEng 228756 # ☐ Reg Arch #
(Name of Construction Review Professional)

I am a Member of: ☒ IPENZ ☐ NZIA and hold the following qualifications: BE (Civ)
The Construction Review Firm issuing this statement holds a current policy of Professional Indemnity Insurance no less than \$200,000*.

The Construction Review Firm is a member of ACENZ: ☒

SIGNED BY Rohan Pollard (Signature) 
(Name of Construction Review Professional)

ON BEHALF OF Blueprint Consulting Engineers Date: 05/09/2017
(Construction Review Firm)

Note: This statement shall only be relied upon by the Building Consent Authority named above. Liability under this statement accrues to the Design Firm only. The total maximum amount of damages payable arising from this statement and all other statements provided to the Building Consent Authority in relation to this building work, whether in contract, tort or otherwise (including negligence), is limited to the sum of \$200,000.*

This form is to accompany **Forms 6 or 8 of the Building (Form) Regulations 2004** for the issue of a Code Compliance Certificate.

THIS FORM AND ITS CONDITIONS ARE COPYRIGHT TO ACENZ, IPENZ AND NZIA

PS4 ADDENDUM - SC153232 PS4 - 01

Job Number: SC153232

Date: 05/09/2017

Address: 14 McPhail Avenue

Building Consent #: 170037

Construction Inspections Undertaken (Inspection Records Attached)

Trench Inspection

Authorised Instructions / Variations Issued During Course of Works (Attached)

REF #: INS-01
INSPECTION RECORD

CLIENT:	Stonewood Homes	JOB REF:	SC153232
ADDRESS:	14 McPhail Avenue	TIME:	4:30pm
DATE:	-	PERSON ON SITE:	Nil
REQUESTED BY:	Phil (Builder)	INSPECTION TYPE:	Trench Inspection

ITEMS OBSERVED:

Inspection of Trench to Confirm Bearing Conditions

OBSERVATIONS:

Carried Out Scala Penetrometer Testing in Trenches to Confirm the Bearing Capacity

- Scala Testing Carried out in 6 Locations around the Building Perimeter
- Scala Testing Revealed min of 2 Blows/ 100mm, locally > 2 blows/ 100mm.
- Scala Testing Indicates a Min of 200kPa GUBC is achieved in accordance with testing recommendations within MBIE Guidance Document
- Foundation Trench Revealed all Topsoil was removed
- Min Width of Base of Footing was 300mm, up to 350mm locally.

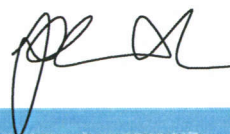
ACTIONS:

- Nil - Bearing Conditions Confirmed

Based on the items observed above, construction has been carried out in accordance with the Structural Documentation and Drawings

INSPECTING Johnny
ENGINEER: McConville

SIGNED:



Auckland p: +64 9 294 8993
Christchurch p: +64 3 928 2248

a: PO Box 97607 Manukau 2241 NZ
a: PO Box 20483 Bishopdale NZ

w: bce.nz
e: admin@bce.nz

Diag. AB



Lot 40.
14 McPhail Avenue.
Building location
BC 170037

Land District: Canterbury

Digitally Generated Plan
Generated on: 08/02/2017 1:51pm Page 6 of 8

Lots 1-15, 34-44, 61-68, 300 and 501-506 being Subdivision of Lot 1 DP25796 and Lot 500 DP476332

Surveyor: Philip Thomas Conway
Firm: Balfour Taylor Limited (Christchurch)

Title Plan
LT 506907
DRAFT

T/25

Diag. AA



Lot 26 DP 476332

Tripoli Street
Legal Road

Peter Place

Lot 304 DP 476202

Lot 114 DP 476202

Lot 11.5 DP 476202

Lot 132 DP 489128

Lot 131 DP 489128

300
0.5921Ha
Road to Vest In
Waimakariri
District Council

14
0.0600Ha

15
0.0606Ha

503
0.8095Ha

Lot 60 DP 476332

Lot 54 DP 476332

Lot 71 DP 456375

Lot 68 DP 456375

504
2.5031Ha

Diag. AAA
See 74

Land District: Canterbury

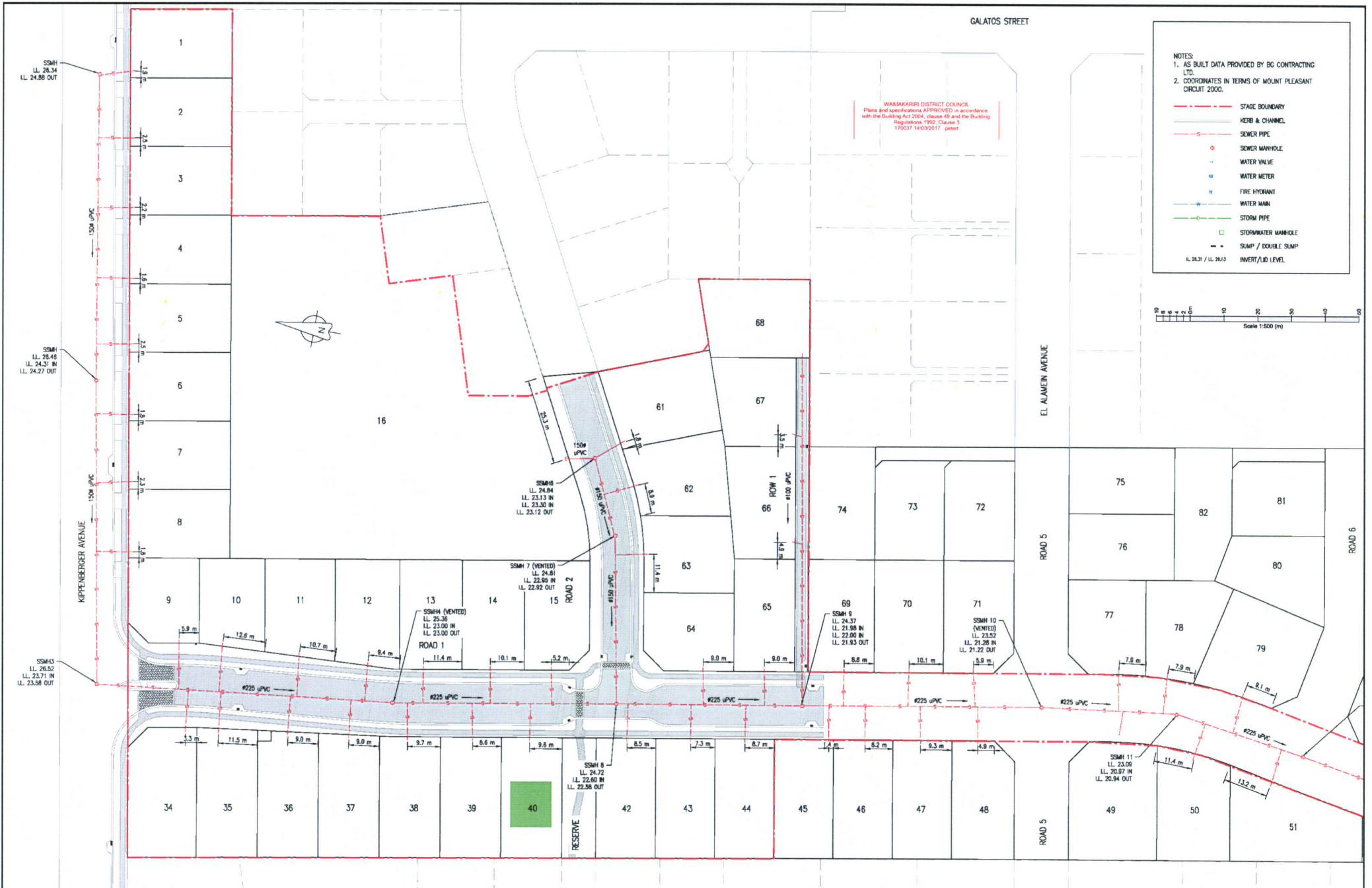
Digitally Generated Plan
Generated on: 08/02/2017 1:51 pm Page 7 of 9

Lots 1-15, 34-44, 61-68, 300 and 501-506 being Subdivision of Lot 1 DP25796
and Lot 500 DP476332

Surveyor: Phillip Thomas Conway
Firm: Balfour Taylor Limited (Christchurch)

Title Plan
LT 506907
DRAFT

T 3/5



- NOTES:
1. AS BUILT DATA PROVIDED BY BG CONTRACTING LTD.
2. COORDINATES IN TERMS OF MOUNT PLEASANT CIRCUIT 2000.

- STAGE BOUNDARY
- KERB & CHANNEL
- SEWER PIPE
- SEWER MANHOLE
- WATER VALVE
- WATER METER
- FIRE HYDRANT
- WATER MAIN
- STORM PIPE
- STORMWATER MANHOLE
- SLUMP / DOUBLE SLUMP
- INVERT/LOD LEVEL

Scale 1:500 (m)

THIS DESIGN AND DRAWING IS COPYRIGHT OF E-ENVIRONMENTAL LTD AND SHALL NOT BE REPRODUCED WITHOUT WRITTEN AUTHORITY



L101 1445 Ardmore Drive PO Box 31150 Christchurch
P 64 3 368 4665 www.eenvironmental.com

Rev	Comments	Approved	Date
A	AS BUILT	JW	

Client: FREEMAN HOMES LTD

Project: ELM GREEN SUBDIVISION
STAGES 2 & 3

Title: SEWER RETICULATION
AS-BUILT

Designed by	Drawn by	Checked by	Approved by	Approved by Date
	MBP	JW	JW	
Scale:	AS BUILT			
Project No	12026-02	Drawing No	310	Revision
				A

Correspondence from : **AUCKLAND**

40 Neales Road, East Tamaki 2013

PO Box 58-014, Botany 2163

Phone: 09 274 7109

Fax: 09 274 7100

CHRISTCHURCH

14 Pilkington Way, Wigram 8042

PO Box 8387, Riccarton 8440

Phone: 03 348 8691

Fax: 03 348 0314

www.mitek.nz.co.nz

Printed: 07:02:30 15 Apr 20

MiTek 20/20 Engineering 4.6.6.330

PRODUCER STATEMENT for MiTek 20/20® TRUSS DESIGN - Version 4.6SUED BY: **MiTek New Zealand Limited**BY: **PlaceMakers - Frame & Truss**IN RESPECT OF: **MiTek® Truss Designs**

This producer statement covers the MiTek 20/20® truss design and the structural performance of the GANG-NAIL® connector plate for the job reference **16119837** and may be used by a Building Consent Authority to assist in determining compliance with the New Zealand Building Code.

The MiTek 20/20® truss design program has been developed by MiTek New Zealand Limited for the design of MiTek® timber roof, floor and attic trusses in New Zealand. The truss designs computed by MiTek 20/20® are prepared using sound and duly accepted engineering principles, and in accordance with compliance documents of the New Zealand Building Code and Verification Method B1/VM1; and internationally accepted standard ANSI/TPI 1 - 2002 as an alternative solution, to satisfy the requirements of Clauses B1 and B2 of the New Zealand Building Code.

On behalf of **MiTek New Zealand Limited**, and subject to:

- i) All proprietary products meeting their performance specification requirements
- ii) The provision of adequate roof bracing and overall building stability
- iii) Correct selection and placement of GANG-NAIL connector plates
- iv) Correct input of Truss Design Data as shown in the Fabricator Design Statement for this job
- v) The design being undertaken by the accredited fabricator under the terms of the software licence
- vi) Timber is graded to the requirements of NZS 3603:1993
- vii) Minimum timber treatment for these MiTek® trusses shall be in accordance with B2/AS1 Table 1A and the relevant sections of NZS 3602:2003

I believe on reasonable grounds that the trusses, if constructed in accordance with the MiTek 20/20® truss design and shop drawings, will comply with the relevant provisions of the New Zealand Building Code.

MiTek New Zealand Limited holds a current policy of Professional Indemnity Insurance no less than \$500,000.

On behalf of **MiTek New Zealand Limited**,

Date: Saturday, 15 April 2017

Ling Ng, BE (Hons), CPEng, IntPE, MIPENZ (ID: 146585)
TECHNICAL SERVICES MANAGER, MiTek New Zealand Limited

MITEK FABRICATOR DESIGN STATEMENT

This statement is issued by MiTek accredited fabricator **PlaceMakers - Frame & Truss**, being licensed to use the MiTek 20/20® software, to the client listed above and may be used by the Building Consent Authority to assist in determining compliance with the New Zealand Building Code.

Tek 20/20® TRUSS DESIGN DATA
The MiTek 20/20® computer design for this job is based on the following design parameters entered into the program. The Fabricator shall ensure that these job details are current and relevant to the project for the design of the MiTek® trusses.

b Details			Importance Level :	2	Design Working Life :	50 years
Roof Truss			Pitch:	25.000 deg	Nominal Overhang:	600 mm
Timber Group:	CTF Pine		Ceiling		Wind	
Material:	Metal Tiles		Material:	Gib Board 12mm	Area:	High (44.0 m/s)
Dead Load:	0.210 kPa		Dead Load:	0.200 kPa	Pressure Coeff:	Cpe = varies; Cpi = -0.30, 0.20
Restraints:	400 mm centres		Restraints:	600 mm centres	Snow	
Live Load:	Q _{ur} = 0.250 kPa		Live Load:	Q _c = 1.400 kN	Location:	Christchurch (N4) at 100 m
	Q _c = 1.100 kN				Open Ground Load:	0.900 kPa
					Basic Roof Load:	0.441 kPa

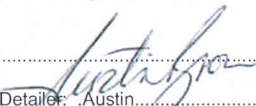
The minimum timber treatment for these MiTek® trusses shall be in accordance with B2/AS1 Table 1A and the relevant sections of NZS 3602:2003. The timber for these MiTek® trusses shall be graded to the requirements of NZS 3603:1993. Proprietary fixings and timber connectors shall be selected in accordance with NZS3604:2011 Section 4 - Durability.

Tek® Truss List
Legend: * = detail only, ? = input only, ~~xxx~~ = failed design, Ø = non certified, Unmarked trusses = designed successfully, LB = lateral bracing required
GB = gable brace required

Truss	Qty	Span (mm)	Pitch (deg)	Spacing (mm)	Truss	Qty	Span (mm)	Pitch (deg)	Spacing (mm)	Truss	Qty	Span (mm)	Pitch (deg)	Spacing (mm)
1B	1	3117	25.000	900	J04D	1	3117	25.000	900	V03	1	3535	25.000	900
1	1	5770	25.000	900	J04E	1	3117	25.000	900	V04	1	4410	25.000	900
2	4	9880	25.000	900	J05	1	2217	25.000	900	V05	1	1735	25.000	900
3	4	5770	25.000	900	J05A	1	2217	25.000	900	V06	1	1354	25.000	900
01	1	9880	25.000	900	J05B	1	2217	25.000	900	V07	1	2254	25.000	900
01A	1	9880	25.000	900	J05C	1	2217	25.000	900	*HB01	2	4874	18.249	900
02	1D	6120	25.000	900	J06	1	1317	25.000	900	*HB02	2	7780	18.249	900
01	1	9880	25.000	900	J06A	1	1317	25.000	900	*HB03	1	3630	18.249	900
01A	1	9880	25.000	900	J06B	1	1317	25.000	900	*HB04	2	5122	18.249	900
1	1	2862	25.000	900	J06C	1	1317	25.000	900	*HB05	1	3244	18.249	900
1A	1	2862	25.000	900	J07	1	1700	25.000	900	*R01	6	913	25.000	900
1B	1	2862	25.000	900	J07A	1	1700	25.000	900	*R01A	6	913	25.000	900
2	1	1962	25.000	900	J07B	1	1700	25.000	900	*R03	1	522	25.000	900
2A	1	1962	25.000	900	J07C	1	1700	25.000	900	*R04	1	1030	25.000	900
2B	1	1962	25.000	900	J07D	1	1700	25.000	900	*R04A	1	1030	25.000	900
2C	1	1962	25.000	900	J07E	1	1700	25.000	900	*R05	1	1413	25.000	900
3	1	1062	25.000	900	J07F	1	1700	25.000	900	*R05A	1	1413	25.000	900
3A	1	1062	25.000	900	T04	3	5780	25.000	900	*R06	1	6980	25.000	900
4	1	3117	25.000	900	T04A	1	5780	25.000	900	*R07	1	1123	25.000	900
4A	1	3117	25.000	900	V01	1	1364	25.000	900	*R08	12	1455	0.000	900
4C	1	3117	25.000	900	V02	1	2264	25.000	900					

Total quantity : 94

The computer design input has been carried out by:

igned: 

me of Detailer: Austin

behalf of: PlaceMakers - Frame & Truss

Date: ...Saturday, 15 April 2017....

Qualifications and Title: Detailer

AS BUILT TRUSS BC170037

RECEIVED 23/05/2017





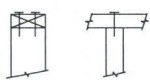

Stonewood Homes
G Baldock
Lot 40 Elm Green
Rangiora

Drawn : Austin	CFT Reff : M119837
Date : 15 Apr.2017	Branch Reff : 16-119837

For alternative fixing see the "Mitek Onsite Guide 2012"

FIXING TYPE A
0.7kN

2/90x3.15 plain steel wire nails
driven vertically into stud.



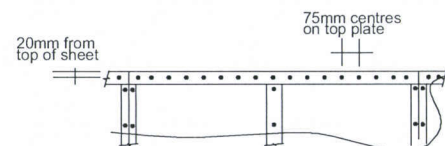
FIXING TYPE B
4.7kN

Single top plate Double top plate

FIXING TYPE B 4.7kN
Option for Internal Walls

2/90x3.15 plain steel wire nails
driven vertically into stud
plus 6kN Stud Anchor (CPC80)

If Ecoply Barrier or James Hardies RAB Board or HomeRAB is used on all external walls, the nailing pattern below eliminates the need for any other stud to top plate fixing on those walls. Lintel fixings and loadbearing internal wall fixings will still be required.



See Ecoply Rigid Air Barrier Installation Manual
OR
James Hardies Rigid Air Barrier Installation Manual
for nail selection and nailing pattern on rest of sheet

- For alternative fixing see the "Mitek Onsite Guide 2012"
- Stud numbers indicative only. Refer Table 8.5 NZS 3604:2011.
- Minimum fixing to be Type E unless otherwise specified.
- Fix top jacks to top plates as per stud to top plate fixing.
- Where Rigid Air Barrier is used, continue top plate nailing pattern on top jacks and lintels.
- If Lumberlok Stud Straps do not reach lintel, use Sheet Brace Strap (4 nails each end) to connect top jack and lintel

TYPE E
1.4kN

4 x 90mm x 3.15mm nails

2 x 90mm x 3.15mm nails directly below lintel.

Lintel

90mm x 3.15mm trimmer to under at 600mm c/s.

Trick AT5 one side

TYPE F
4.0kN

6 x 90mm x 3.15mm nails
475 one side
2 x 90mm x 3.15mm nails directly below lintel
90mm x 3.15mm trimmer to use at 600mm cr
2 x Tek 475

TYPE G
7.5kN

6 x 90mm x 3.15mm nails

400mm Sheet Brace Strap to one side

2 x 90mm x 3.15mm nails directly below lintel

Lintel

6 x 30mm x 3.15mm nails each end of SB

90mm x 3.15mm nail trimmer to understand at 600mm c/s.

3B Handibrac (TM)

Proprietary Screw Bolt

TYPE H
13.5kN

8 x 90mm x 3.15mm nails
400mm Steel Brace Strap to both sides

Lintel

6 x 30mm x 3.15mm nails each end of each SBS

90mm x 3.15mm nail trimmer to understud at 600mm crs.

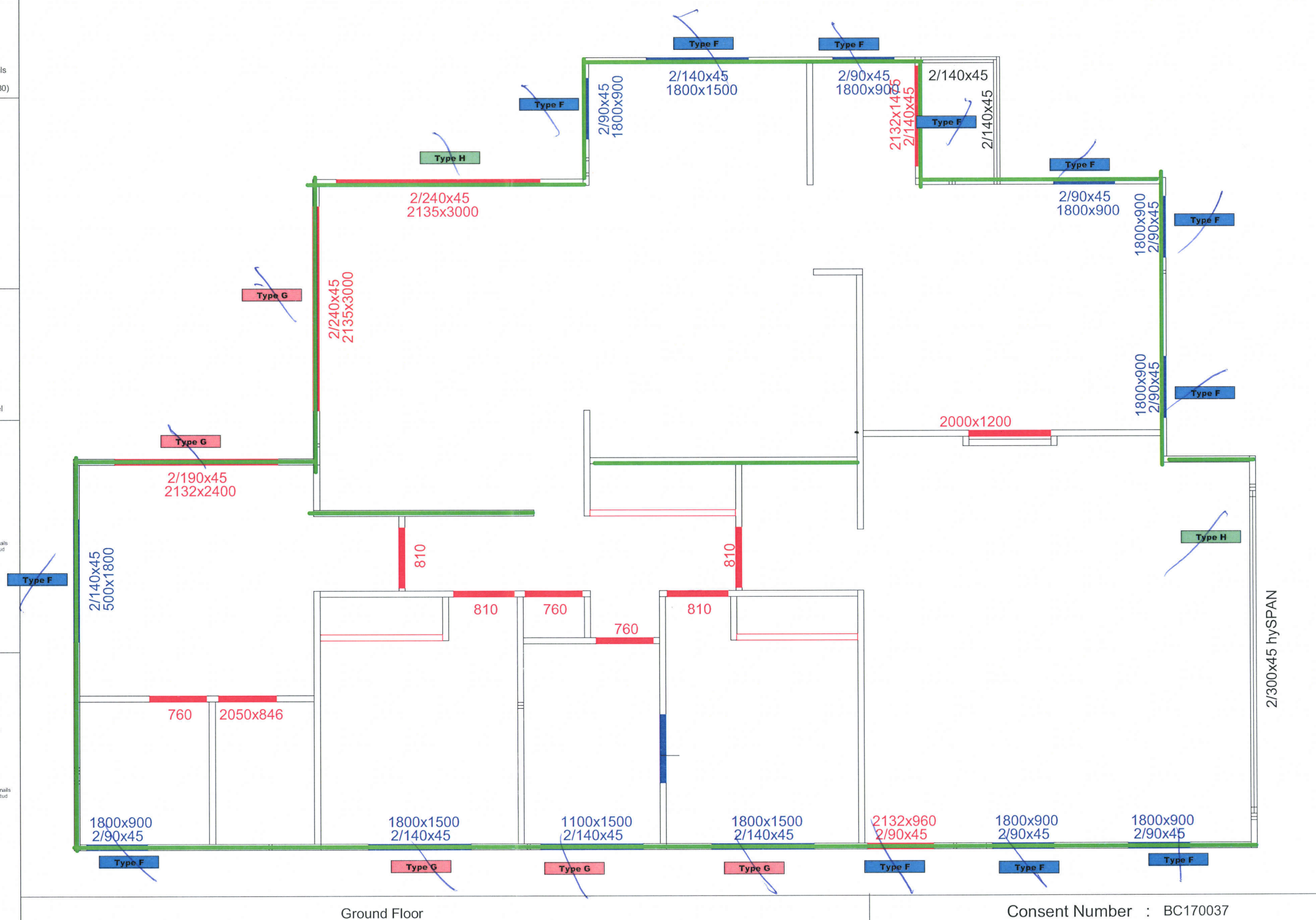
GIB Handicraft (TM)

2 x Tylok 475 on both sides

Proprietary Screw Bolt

AS BUILT TRUSS BC170037

RECEIVED 23/05/2017



Ground Floor

Consent Number : BC170037

Stud To Top Plate And Lintel Fixings

Drawn : Austin

CFT Ref : M119837

Date : 15 Apr,2017

Branch Reff : 16-119837

PlaceMakers
Know how. Can do.

paul.fleming@placemakers.co.nz



FRAME & TRUSS

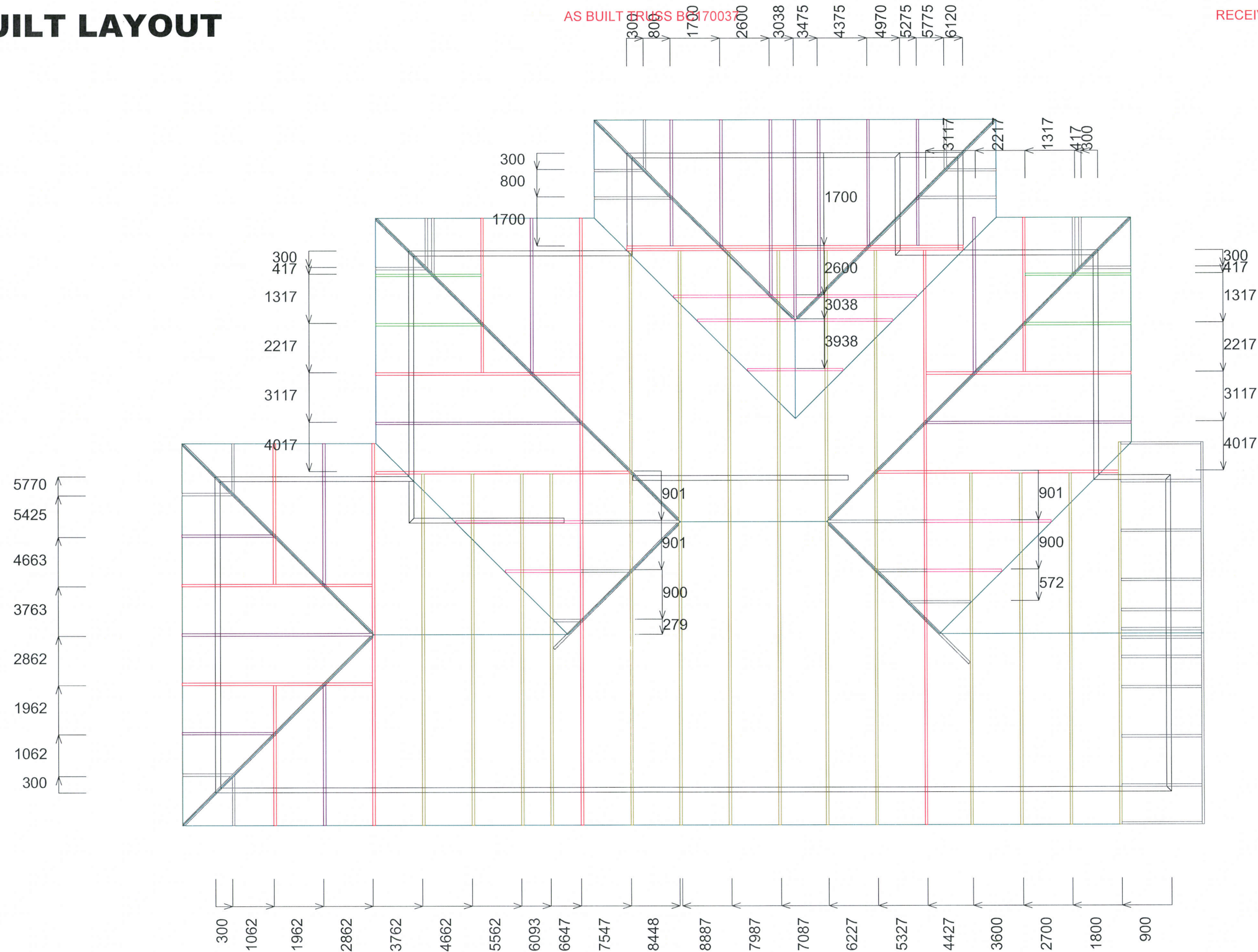
PM Frame & Truss
1 Koru Place
Harewood
Christchurch
Ph : 03-359-9560
Cell :

Stonewood Homes
G Baldock
Lot 40 Elm Green
Rangiora

AS BUILT LAYOUT

AS BUILT TRUSS BC170037

RECEIVED 23/05/2017



Ground Floor

Consent Number : BC170037



PM Frame & Truss
1 Koru Place
Harewood
Christchurch
Ph : 03-359-9560
Cell :

Stonewood Homes
G Baldock
Lot 40 Elm Green
Rangiora

Truss Pic Layout

Drawn : Austin

CFT Ref : 16119837

Date : 15 Apr, 2017

Branch Ref : 16-119837

paul.fleming@placemakers.co.nz

Asbuilt Layout

Roof Pitch	25.000
Roof Material	Metal Tiles
TC Restraints	400
Overhang	600
Wind Zone	High
Roof Snow	0.441
BC Restraints	600
Ceiling Material	Gib Board 12mm

Trusses And Rafters At 900 Centres Unless Stated Otherwise

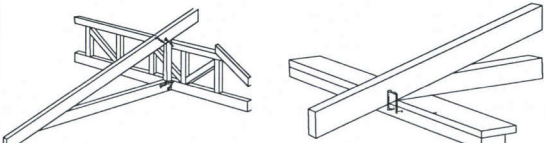
Fixings

- = CT200 (LH & RH) Pair
- = 9kN TTP
- = 16kN TTP
- = 47x90 JH
- = 47x120 JH
- = 47x190 JH
- = 95x165 JH
- = Multigrips
- = SBS400
- = Split Hanger SP180
- = Nail On Plate

Wiredogs Fixing Per Drawing/Note Below

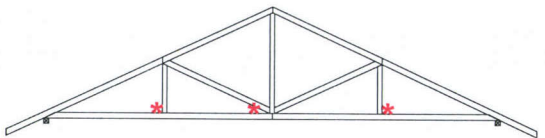
Please contact PlaceMakers Frame & Truss Manufacturing if any on site remedial work is required. There will be no compensation for work done without PlaceMakers Frame & Truss Manufacturing written authority.

Job No.	16119837
Job Name	Stonewood Homes
Address	G Baldock Lot 40 Elm Green Rangiora
Consent #	BC170037
Drawn Date	Austin 15 Apr,2017
Main Ph	03-359-9560
Cell Ph	
Email	paul.fleming@placemakers.co.nz



All Jack truss to truss fixings not indicated on the layout are to be fixed with a pair of 90mm nails.
All truss to top plate fixings not indicated on the layout are to be fixed with 2/100 x 3.75 skewed nail + 2 wire dogs.

Note: Where Internal Load-Bearing Walls are shown on layout Fixings required to all Trusses.



Trusses need bottom chord Restraints at 1800 Centres if Rondo Metal Batten Clip System used [Not Directly Fixed]

AS BUILT TRUSS BC170037

RECEIVED 23/05/2017

